

MANAGEMENT OF SIGNIFICANT CULTURAL RESOURCES

To comply with federal regulations regarding duties and responsibilities of cultural resources under its stewardship, the Navy should adopt a policy to ensure the future preservation of properties that are either listed in or have potential for inclusion in the NRHP. No buildings or structures at NWIRP Dallas are currently listed in the NRHP, but a multiply property nomination is proposed. As such, the Navy should carefully consider what effect future projects, actions, or endeavors may have on the facilities considered as significant cultural resources.

The most effective tool in the management of these resources is the signing of a PA among the Navy, the Texas SHPO, and the ACHP. Such a document is advantageous for all parties because it clearly delineates the roles and obligations of each party and enables the Navy to concentrate its Section 106 responsibilities on a finite number of facilities. It lists ordinary maintenance activities that do not require SHPO coordination, identifies projects that may impact significant cultural resources, and specifies procedures to offset or mitigate any adverse effects to targeted properties. To ensure compliance, the adoption of the ICRMP and its recommended policies should be incorporated into the PA and serve as the cornerstone of the PA and the Navy's cultural resource management responsibilities.

Regardless of whether or not a PA has been signed, the Navy should provide the Texas SHPO a minimum of 30 days to review and comment on activities that have the potential to affect significant historic properties. Such a period allows the SHPO sufficient time to evaluate the impact a project may have on the integrity of a significant cultural resource. The following are primary topics of concern dealing with effective management of cultural resources at NWIRP Dallas. These topics, which will be discussed in later detail later in this section of the ICRMP report, consists of the following:

- Routine maintenance that does not require SHPO review and comment.
- Undertakings that require SHPO review and comment.
- Character-defining elements of NRHP-eligible buildings and other significant cultural resources that should be maintained to avoid damaging their integrity.

- Recommendations to ensure that Navy-sponsored undertakings will comply with the Section 106 of the NPHA
- Preservation issues likely to be encountered while managing the significant cultural resources

Other essential tools in the effective management of cultural resources are preservation-related manuals that the Department of the Interior, administrators of the NRHP program, and the Department of the Navy have prepared. These publications are the *Secretary of the Interior's Standards for the Rehabilitation and Guidelines for Rehabilitating Historic Buildings* and *Naval Facilities Engineering Command Historic Structures Preservation Manual* (more commonly known as NAVFAC MO-913). Both publications address many of the technical problems and issues pertaining to the preservation of historic properties. The *Secretary of the Interior's Standards for Rehabilitation* was originally developed in 1979 to evaluate the appropriateness of grant-funded work on historic properties, but have been widely used since then for a variety of purposes. The SHPO uses the *Standards* to evaluate the effect of proposed federally funded or licensed undertakings on NRHP-eligible properties. The publication provides recommendations on treatments that will rehabilitate a historic property yet keep important and character-defining features intact. NAVFAC MO-913 complements the *Secretary of the Interior's Standards for Rehabilitation* but targets the kind of properties that the Navy typically maintains. Prepared in September 1991, the publication is designed to help ensure that establishments protect the historic properties under their stewardship and contains information on identification, preservation and proper maintenance of historic resources. These extremely informative publications should be obtained by the Public Works Department and referred to frequently.

ROUTINE MAINTENANCE

Ordinary activities that will not change or alter salient and character-defining features of an NRHP-eligible property do not require SHPO review and comment. These actions are considered routine and are necessary for the day-to-day use of these properties. They are limited in scope and are easily reversible. As such, they lack the ability to damage the integrity and historic character of a property.

The following are types of activities that are considered routine and thus exempt from the Section 106 process:

- Usual lawn maintenance, such as mowing, raking, reseeding, and grooming of shrubs.
- Minor arboreal care for trees on the grounds associated with the properties.
- Hand removal of clinging vegetation, such as ivy, from building exterior.
- Repair of sidewalks and driveways.
- Repair of chain-link fence or gate.
- Replacement of broken window panes.
- Recaulking of windows and door panels.
- Repair of torn or damaged window and door screens.
- Installation of weatherstripping.
- Removal, or in-kind replacement of nonhistoric materials, finishes, and features.
- Installation of new floor coverings such as carpeting or sheet vinyl.
- Replacement of plumbing fixtures.
- Repair/replacement of pipes and/or electrical wiring.
- Repainting interior rooms.
- Installation of insulation.
- Repair/replacement of individual acoustic ceiling panels.

Other types of activities that do not require SHPO review and comment include work on existing subsurface structures, roads, runways, and existing utilities, as long as any ground-distributing activities are performed within the construction limits of the original work.

Emergency work due to damage by hydrocarbon or hazardous materials spills, flooding or other natural disasters, and emergency structural stabilization necessitated by the threat of imminent structural failure also do not require SHPO comment. However, the emergency work must be conducted concurrent with telephone consultation with the SHPO. If there is any question whether or not an undertaking has the potential to affect one of the NRHP-eligible properties, the SHPO should be contacted for clarification.

UNDERTAKINGS REQUIRING SHPO COMMENT AND REVIEW

Section 106 of the NHPA of 1966 requires SHPO coordination for projects that have the potential to have an affect the integrity of significant historic properties (see the discussion of the Seven Aspects of Integrity). In general, the types of activities that require SHPO consultation include:

- Rehabilitation, non-routine maintenance, and extensive repair of any historic properties.
- New construction that directly affects a building, such as an addition, or new construction in the immediate vicinity of the building that could alter the property's historic setting.
- Landscaping and related activities, including removal or addition of
 - paving materials
 - light fixtures
 - planters
 - other nonplant materials
- Demolition of historic properties

It is important to remember that **Section 106 does not require restoration of historic properties** but instructs federal agencies to **maintain those qualities that make the properties eligible for the NRHP**. The SHPO should be contacted while any activity or project is in its conceptual or planning stage.

PRESERVATION ISSUES AND RECOMMENDED ACTIONS

Maintaining the salient and character-defining features of significant cultural resources is a fundamental goal of the ICRMP, and this section of the report identifies preservation topics and recommended actions that will assist the Navy's NWIRP Dallas Construction Representative and Vought Aircraft Industries staff with preservation issues. Actions that may have a negative impact on these features and the effect they may have on any of the Seven Aspects of Integrity (i.e. location, design, setting, materials, workmanship, feeling, and association) are identified as **Not Recommended** actions. The information reflects common and widely accepted practices in the preservation community and is taken from two primary published sources. One publication, *Historic Structures Preservation Manual*, more commonly known as MO-913, was assembled by Naval Facilities Engineering Command. Prepared especially to help Navy construc-

tion personnel understand the preservation-related issues they are most likely to encounter, MO-913 is an indispensable guide for project planning. The other publication is the *Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, which all SHPOs use as the primary means to educate individuals, in both the public and private sectors, about NPS-approved preservation strategies and to evaluate proposed construction practices. The *Standards*, as it is referred to in this section, and its companion, MO-913, address a variety of preservation-related topics and should serve as the foundation for the successful management of significant historic properties. Issues most relevant to NWIRP Dallas are discussed in subsequent paragraphs.

PRESERVATION PHILOSOPHY

As stewards of the NWIRP Dallas, the Navy should adopt an overall philosophy to guide their treatment of historic resources at the plant. The preservation philosophy of *rehabilitation* offers the greatest flexibility to the Navy in dealing with the historic properties. The *Secretary of the Interior's Standards for the Treatment of Historic Properties*, 1995, defines rehabilitation as

the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values.

As stated in the definition, rehabilitation assumes that at least some repair or alteration of the historic building will be needed in order to provide for an efficient contemporary use; however, these repairs and alterations must not damage or destroy materials, features or finishes that are important in defining the building's historic character.

The Standards for Rehabilitation are:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

*SALIENT AND CHARACTER-DEFINING FEATURES OF NWIRP
DALLAS*

**CHARACTER-DEFINING ELEMENTS OF HISTORICALLY SIGNIFICANT
BUILDINGS**

The key factor determining whether or not an undertaking will have an adverse effect depends on the impact an action may have on the integrity of a cultural resource. Therefore, knowing what the salient and character-defining features of the resources are will enable Navy personnel to know the specific physical attributes that are critical and should be preserved to ensure that integrity is maintained. Table 12-1 lists noteworthy site considerations and architectural elements of the historically significant buildings at NWIRP Dallas, Texas. The figures which follow the table graphically illustrate these features.

INTEGRATED CULTURAL RESOURCES MANAGEMENT PLAN

Salient and Character-Defining Features		Significant Resources (Facility Number)						
		1	6	7	16	49	94	97
Site Features/Setting	Isolated				x			x
	Adjacent to other facilities	x	x	x		x	x	
	Adjacent to open space			x		x	x	
Building Type	Manufacturing	x	x					x
	Black-out	x	x	x	x	x	x	
	Office			x		x		
	Hanger				x		x	x
	Laboratory						x	
Foundation	Concrete slab-on-grade	x	x		x	x	x	x
	Concrete with basement			x				
Structural System	Steel frame	x					x	x
	Steel and concrete		x	x	x	x		
Exterior Materials	Concrete	x	x	x	x	x	x	x
	Box-rib steel panels	x	x	x	x	x	x	x
	Articulated pilasters with flat steel panel borders		x	x				
	Steel sashed							x
Windows	Fixed aluminum							x
	Metal	x					x	
Doors	Metal canopy			x				x
	Metal with vision panels			x			x	x
	Hooded metal canopy						x	
	4 panel metal track						x	
	Overhead sectional metal	x	x					
	Steel with pilots door				x			
	Single with vision panels					x		
	Aluminum and glass		x	x		x		
	Aluminum frame with glazing	x						
	Overhead rubber	x	x					
	Sliding	x	x		x			x
	Pivoting canopy	x	x					
Roof	Baffles	x	x	x				
	Flat					x	x	
	Multi-level flat							x
	Flat and gabled	x						
	Flat and gambrel with parapet		x					
Roofing Material	Gambrel				x			
	Built-up	x	x	x	x	x	x	x

Table 13-1.

Character-Defining Features of Facility 1

Facility 1, a blackout-type manufacturing building sits on level terrain in the north-central portion of NWIRP Dallas directly southeast of the main entrance. Facility 1 is adjacent to Facility 2 and connected to Facilities 6, 7 and 11 by Facility 10, an elevated enclosed passageway. An 800'-0" x 23'-0" railroad loading dock runs along the facility's south facade. Other buildings, paved roads and parking lots surround the facility on all sides.

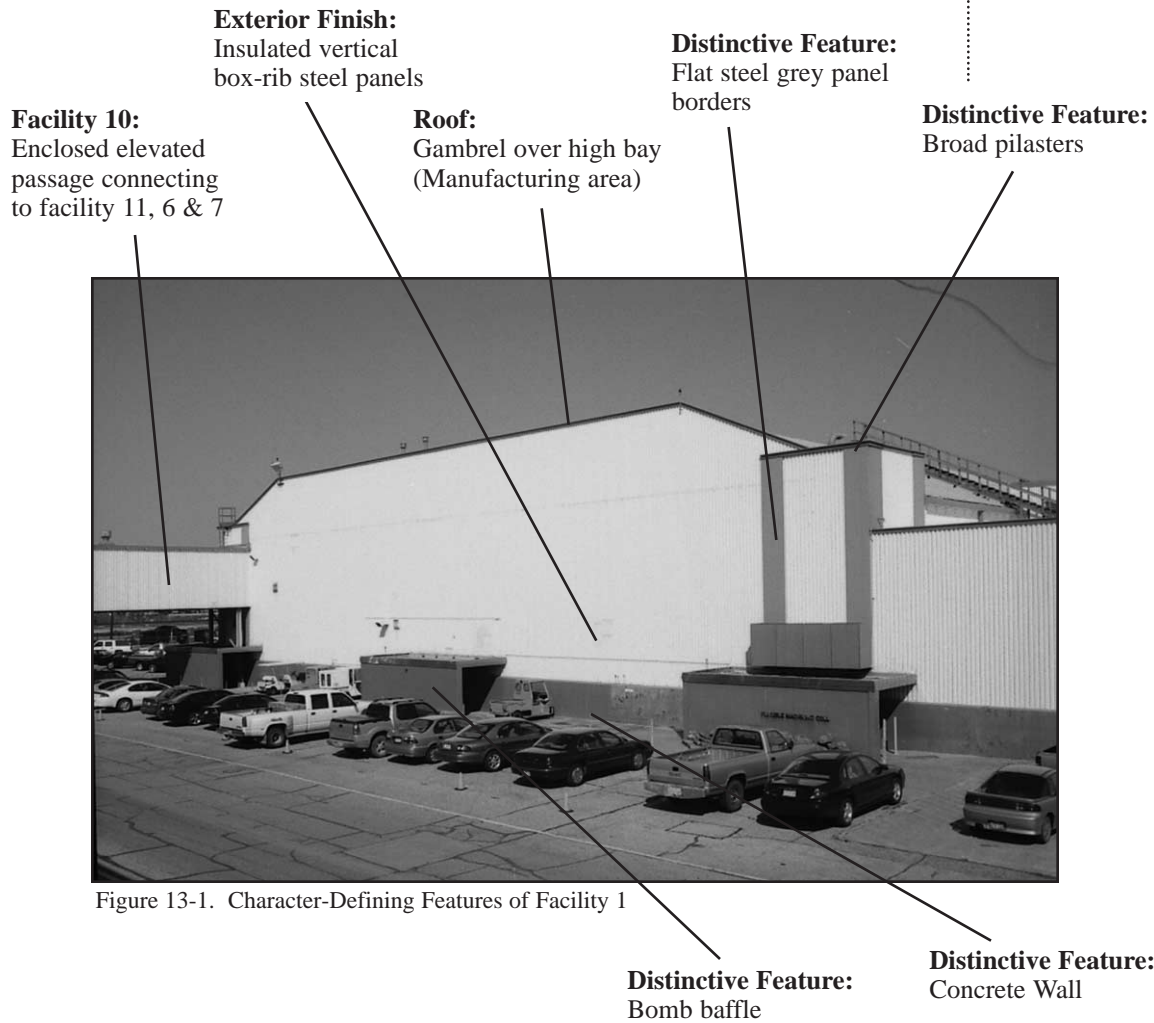


Figure 13-1. Character-Defining Features of Facility 1

Character-Defining Features of Facility 6

Facility 6 is a blackout type manufacturing building in the north-central portion of NWIRP Dallas, southwest of the main entrance. The building is connected to Facilities 7, 49 and 94 on the north and Facilities 1 and 11 to the east by Facility 10, an enclosed elevated passageway. A covered passageway or “staging area” connects Facility 6 to Facility 93 on the south. Facility 6 sits on level terrain surrounded by roads, paving, and other buildings.

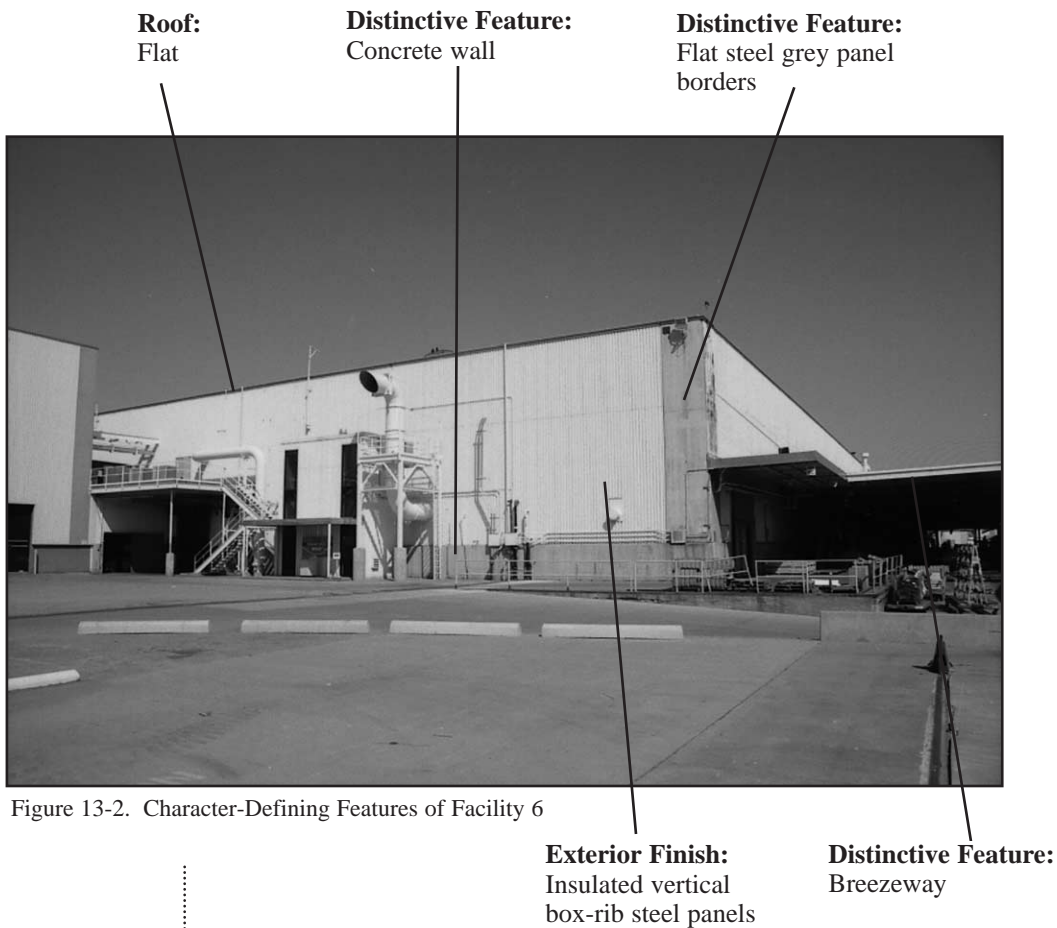


Figure 13-2. Character-Defining Features of Facility 6

Character-Defining Features of Facility 6, continued.

Roof:
Flat (typical)

Roof:
Gambrel with parapet over high bay
(Manufacturing area)



Figure 13-3. Character-Defining Features of Facility 6, continued

Character-Defining Features of Facility 6, continued.

Door:
Sliding pilot

Roof:
Gambrel over high bay



Figure 13-4. Character-Defining Features of Facility 6, continued

Door:
Pivoting canopy

Character-Defining Features of Facility 7

Facility 7 is a three-story office building with basement. Like the facilities it adjoins, Facility 7 was built as a blackout style facility. Its site is level and there is minimal landscaping on the property. A paved parking lot is directly east of Facility 7 and Jefferson Avenue is to the north. Facility 7 shares a common wall on the south with Facility 6 and on the west with Facility 49.

Distinctive Feature:
Broad Pilasters

Exterior Finish:
Insulated vertical box-rib
steel panels

Distinctive Feature:
Bomb baffle

Roof:
Flat



Figure 13-5. Character-Defining Features of Facility 7

Distinctive Feature:
Concrete wall

Foundation:
Reinforced concrete
with basement

Character-Defining Features of Facility 7, continued.

Site:
Paved parking area

Canopy



Figure 13-6. Character-Defining Features of Facility 7, continued

Distinctive Feature:
Bomb baffle

Character-Defining Features of Facility 16

Facility 16 is in the northeast portion of NWIRP Dallas, directly east of Facility 20 and northwest of Facility 15. The building consists of a large aircraft hangar and an adjacent service building. Facility 16 was designed and built to blackout standards. An enclosed passage-way connects the hangar's east facade to a service wing. Monumental horizontal tracked doors and door pockets on the north and south facades are the building's most distinctive architectural feature. Facility 16 sits in an isolated setting, with concrete paving on all sides.

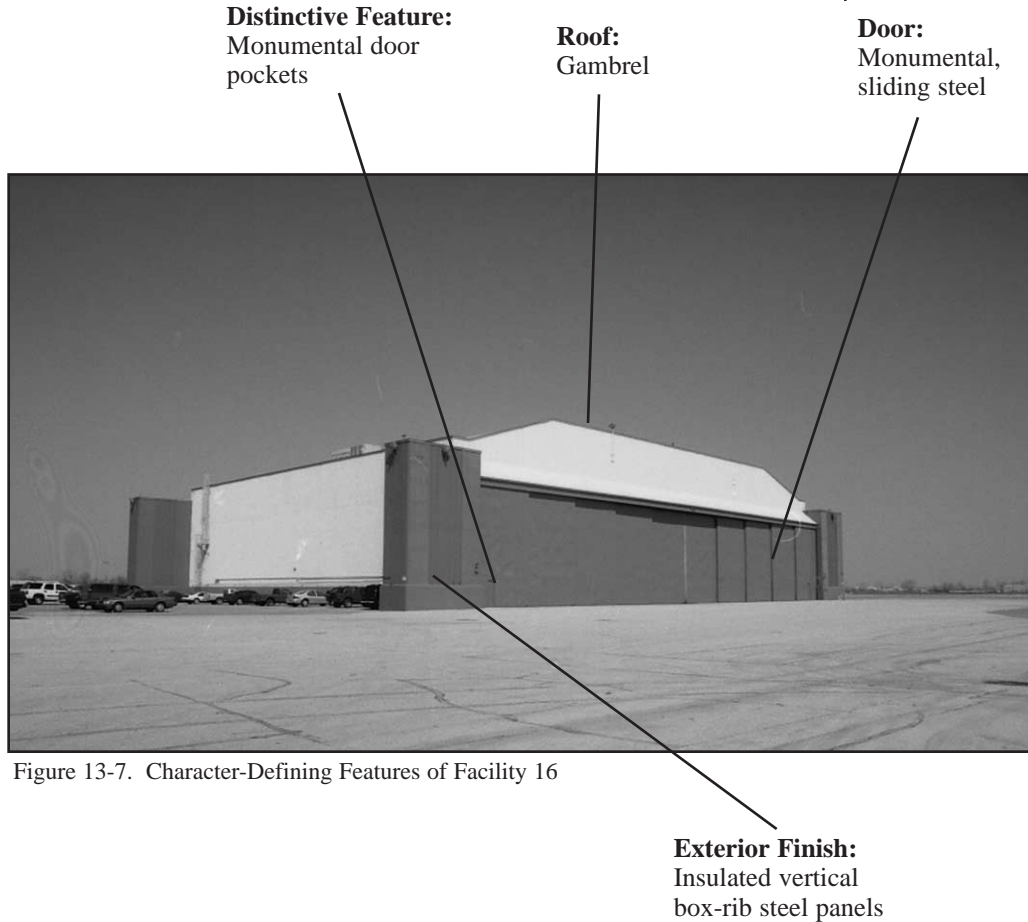


Figure 13-7. Character-Defining Features of Facility 16

Character-Defining Features of Facility 16, continued.

Exterior Finish:
Insulated vertical
box-rib steel panels

Service Building:
Insulated vertical box-rib
steel panels

Enclosed Passageway



Figure 13-8. Character-Defining Features of Facility 16, continued

Distinctive Feature:
Concrete wall

Character-Defining Features of Facility 49

Facility 49 is an office building that was built to blackout standards and lacks distinctive stylistic embellishment. It sits on level terrain adjacent to the northern boundary of NWIRP Dallas. Jefferson Boulevard is to the north, an employees' parking area is to the west; Facility 6 and Facility 7 adjoin Facility 49 on the south and east, respectively.

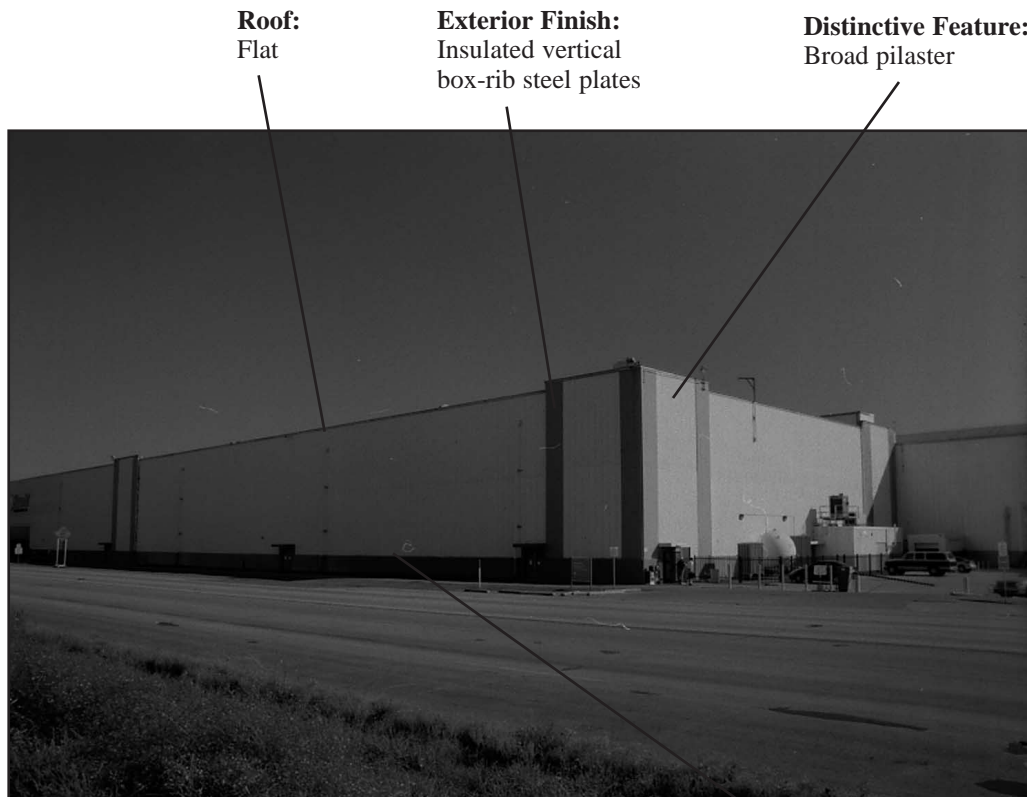


Figure 13-9. Character-Defining Features of Facility 49

Distinctive Feature:
Concrete wall

Character-Defining Features of Facility 49, continued.

Distinctive Feature:
Louvered vents

Distinctive Feature:
Blackout standards,
no windows

Distinctive Feature:
Concrete wall



Figure 13-10. Character-Defining Features of Facility 49

Door:
Paired metal with vision
panel and metal canopy

Character-Defining Features of Facility 94

Facility 94 is located in the northwest portion of NWIRP Dallas, adjacent to the northwest corner of Facility 6. The building was designed to blackout standards exhibits no distinctive stylistic embellishment. Its most prominent physical feature is a monumental vertical-track door on the south facade. A large paved employee parking lot is directly west of Facility 94.

Door:
Double metal door

Distinctive Feature:
Broad pilasters

Roof:
Flat

Exterior Finish:
Insulated vertical
box-rib steel panels

Distinctive Feature:
Blackout standards, no
windows.



Figure 13-11. Character-Defining Features of Facility 94

Door:
Single metal door
with vision panel and
hooded with a metal
canopy

Site:
Sits within a fenced
compound of labora-
tory facilities and
associated support
buildings

Character-Defining Features of Facility 94, continued.



Figure 13-12. Character-Defining Features of Facility 94, continued

Door:
4-panel vertical
metal track

Character-Defining Features of Facility 97

Facility 97 is a large aircraft hangar. The facility sits isolated from other buildings in the southeast section of NWIRP Dallas. Facility 97's most distinctive features are an octagonal control tower on the east facade and monumental overhead pivoting doors on the north and south facades. Pavement surrounds the building. As is the case with other resources at the plant, Facility 97 is utilitarian in design and lacks stylistic ornamentation or embellishment.

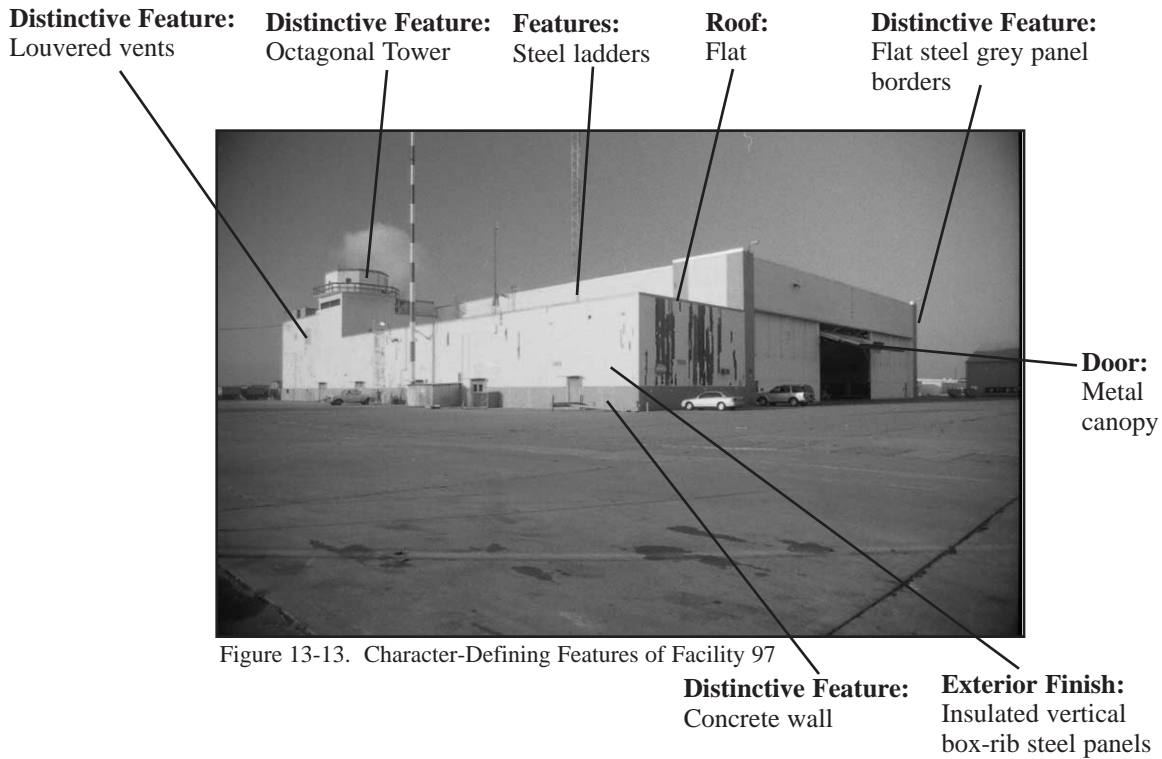


Figure 13-13. Character-Defining Features of Facility 97

Character-Defining Features of Facility 97, continued.

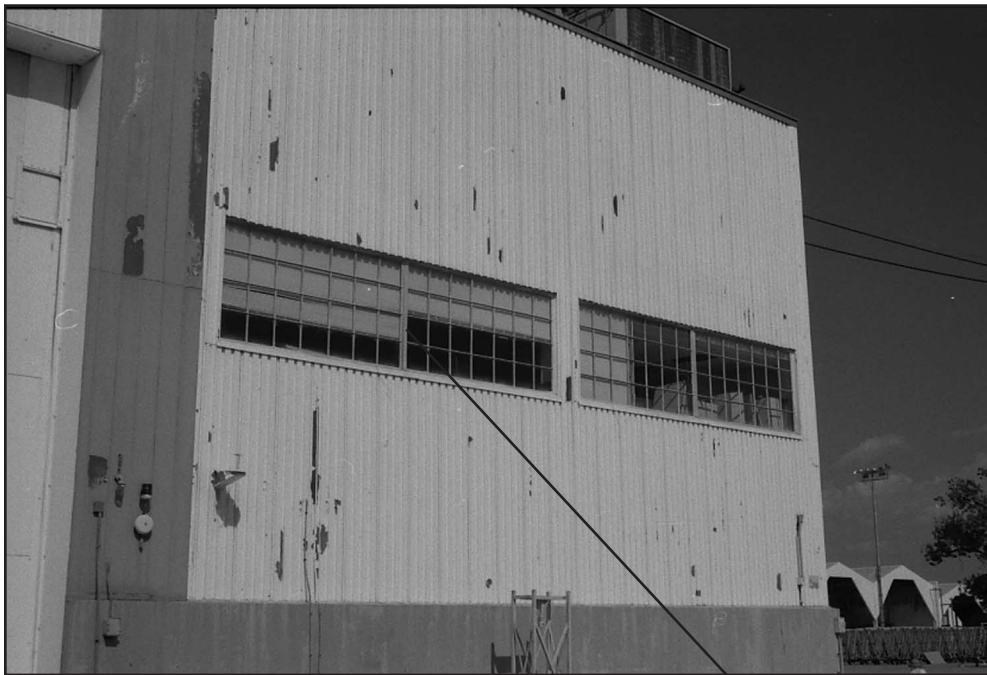


Figure 13-14. Character-Defining Features of Facility 97, continued

Windows:
Steel-sash and fixed
aluminum-frame

Character-Defining Features of Facility 97, continued.



Feature:
Counterweights for
metal canopy door

Figure 13-15. Character-Defining Features of Facility 97, continued

**PRESERVATION
GUIDELINES**

The following guidelines are taken from the Guidelines for Rehabilitating Historic Buildings, first published by the Department of the Interior in 1977 to assist property owners, developers, and Federal



Figure 13-16. Facility 16 (shown above) and Facility 97 exist in an isolated setting, surrounded by paving. Locating new construction close to these facilities could diminish their integrity of setting.

managers apply the Secretary of the Interior's Standards during the project planning stage. They have been edited to be specific to the NWIRP Dallas historic properties.

SITE

Recommended

- Identify, retain, and preserve buildings and features as well as features of the site that are important in defining their overall historic character.
- Ensure that all contracts for new construction contain protective clauses that require immediate stoppage of work should archeological deposits be discovered during construction.
- Should archeological deposits be discovered during construction, notify the State Historic Preservation Office for guidance.

Not Recommended

- Remove or radically change buildings or site features that are important in defining the overall historic character of the property so that, as a result, the character is diminished.
- Introduce new security lighting, fencing, landscaping, or paving materials that are out of character with the setting.



Figure 13-17. Concrete and box-ribbed steel siding are exterior materials used on historic facilities at NWIRP Dallas.

EXTERIOR MATERIALS

All historic facilities incorporate reinforced concrete up to 5'-6" above the finished first floor and then insulated box-rib steel siding to the roof line. Flat steel plate accent panels at building corners.

Recommended

- Identifying, retaining, and preserving materials and

features that are important in defining the overall historic character of the buildings.

Not Recommended

- Removing or radically changing materials or features that are important in defining the overall historic character of the building so that, as a result, the character is diminished.
- Replacing a major portion of exterior walls that could be repaired so that, as a result, the building is no longer historic and is essentially new construction.
- Removing paint from an historically painted material.
- Radically changing the type of paint or coating or its color.



Figure 13-18. Large expanses of flat roofs with raised, gambrel roofs over final assembly areas are characteristic of Facilities 1 and 6 at NWIRP Dallas.

ROOF

Recommended

- Identifying, retaining, and preserving roofs that are important in defining the overall historic character of the building. This includes the roof's shape and roofing material.

- Protecting and maintaining roofs by cleaning gutters and down spouts and replacing

deteriorated flashing. Roof sheathing should also be inspected for proper venting to prevent moisture condensation and water penetration.

- Providing adequate anchorage for roofing material to guard against wind damage and moisture penetration.

Not Recommended

- Radically changing, damaging, or destroying roofs that are important in defining the overall historic character of the building so that, as a result, the character is diminished.
- Changing the configuration of a roof by adding new features such as dormer windows, vents, or skylights so that the historic character is diminished.
- Failing to clean and maintain gutters and down spouts properly so that water and debris collect and cause damage to roof fasteners, sheathing, and the underlying structure.
- Permitting a leaking roof to remain unprotected so that accelerated deterioration of historic building materials occurs.



Figure 13-19. Concrete bomb baffles at entrances are an important character-defining feature of facilities 1, 6, and 7.

DOORS AND ENTRANCES

Recommended

- Identifying, retaining, and preserving entrances—and their functional features—that are important in defining the overall historic character of the buildings.
- Protecting and maintaining the materials that make up the door, frame, and associated hardware through appropriate surface treatments such as cleaning, rust removal, limited paint removal, and repainting.
- Evaluating the overall condition of materials to



Figure 13-20. The large aircraft doors on facilities 1, 6, 16, 94, and 97 incorporate “pilot doors” for personnel and vehicular access.

determine whether more than protection and maintenance are required, that is, if repairs to doors and door features are required.

- Repairing doors by patching, splicing, consolidating or otherwise reinforcing. Such repair may also include replacement in kind of those parts that are extensively deteriorated.
- Maintaining existing door locations and opening sizes.
- Replacing in kind an entire door that is too deteriorated to repair using the same design details. If using the same kind of material is not technically or economically feasible when replacing doors deteriorated beyond repair, then a compatible substitute material may be considered.

Not Recommended

- Removing or radically changing doors that are important in defining the historic character of the building so that, as a result, the character is diminished.
- Cutting new door openings, blocking-in doors, and installing replacement doors that do not fit the historic opening.
- Changing the historic appearance of doors through the use of inappropriate designs, materials, finishes, or colors which noticeably change the appearance of the door and frame.
- Failing to provide adequate protection of materials on a cyclical basis so that deterioration of the door results.
- Retrofitting or replacing— rather than maintaining—doors and frames.
- Installing new doors and frames that are incompatible with the building’s historic appearance or obscure, damage, or destroy character-defining features.

WINDOWS

Not Recommended

- Cutting new window openings.

STRUCTURAL SYSTEM

Recommended

- Identifying, retaining, and preserving structural systems—and individual features of systems—that are important in defining the overall historic character of a building.

- Protecting and maintaining the structural system by replacing roof flashing.
- Examining and evaluating the physical condition of the structural system and its individual features using non-destructive techniques such as X-ray photography.



Figure 13-21. Concrete columns, large open spaces, and exposed steel roof trusses are important character-defining features of Facility 6.

- Repairing the structural system by augmenting or upgrading individual parts or features.
- Replacing in kind—or with substitute material—those portions or features of the structural system that are either extensively deteriorated or missing when there are surviving prototypes. Substitute material should convey the same form, design, and overall visual appearance as the historic feature; and, at a minimum, be equal to its load bearing capabilities.
- Limiting any new excavations adjacent to historic foundations to avoid undermining the structural stability of the building or an adjacent historic building. Studies should be made to ascertain potential damage to archeological resources.
- Correcting structural deficiencies in a manner that preserves the structural system and individual character-defining features.
- Designing and installing new mechanical or electrical systems that minimize the number of cutouts or holes in structural members.

Not Recommended

- Removing, covering, or radically changing features of structural systems which are important in defining the overall historic character of the building so that, as a result, the character is diminished.
- Utilizing the building in a new way that could overload the existing structural system; or installing equipment or mechanical systems that could damage the structure.

- Leaving known structural problems untreated.
- Utilizing treatments or products that accelerate the deterioration of structural material.
- Failing to provide proper building maintenance so that the structural system deteriorates.
- Utilizing destructive probing techniques that will damage or destroy structural material.



Figure 13-22. The open plan and exposed structure of Facility 97 — which are also characteristics of Facilities 1, 6, 16, and 94 — are important features that should be retained.

- Upgrading the building structurally in a manner that diminishes the historic character of the exterior or damaging interior features or spaces.
- Replacing a structural member or other feature of the structural system when it could be augmented and retained.
- Installing a visible replacement feature that does not convey the same visual appearance.
- Using substitute material that does not equal the load bearing capabilities of the historic material and design or is otherwise physically or chemically incompatible.
- Carrying out excavations or regrading adjacent to a historic building that could cause the historic foundation to settle, shift, or fail; or could destroy significant archeological resources.
- Radically changing interior spaces or damaging or destroying features or finishes that are character-defining while trying to correct structural deficiencies.
- Installing new mechanical and electrical systems or equipment in a manner which results in numerous cuts, splices, or alterations to the structural members.

INTERIOR SPACES

Recommended:

- Identifying, retaining, and preserving a floor plan or interior spaces that are important in defining the overall historic character of the building. This includes the size, configuration, proportion, and relationship of rooms and corridors; the relationship of features to spaces; and the spaces themselves such as lobbies, reception halls, auditoriums, and important industrial use spaces.
- Accommodating service functions such as toilets, mechanical equipment, and office machines required by a building's new use in secondary spaces such as first floor service areas or on upper floors.
- Installing permanent partitions in secondary spaces; removable partitions that do not destroy the sense of space should be installed when the new use requires the subdivision of character-defining spaces.

Not Recommended:

- Radically altering a 52 floor plan or interior spaces, including individual rooms that are important in defining the overall historic character of the building so that, as a result, the character is diminished; or altering the floor plan by demolishing principal walls and partitions to create new appearance; or altering or destroying interior spaces by inserting floors, lowering ceilings, or adding or removing walls.
- Dividing rooms, lowering ceilings, and damaging or obscuring character-defining features so that a new use can be accommodated in the building.
- Installing permanent partitions that damage or obscure character-defining spaces, features, or finishes.

RECOMMENDED SOURCES FOR ADDITIONAL INFORMATION

"The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings," Washington, D.C.: U.S. Department of the Interior, National Park Service, 1976; revised 1983, 1990. <<http://www2.cr.nps.gov/tps/tax/rhb/stand.htm>>